



SILVERHORN

ARCHITECTURAL DESIGN GUIDELINES



A new innovative community designed in harmony with the surrounding landscape

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1. INTRODUCTION

1.1 LOCATION

Silverhorn is a spectacular country residential community located in the Rocky View County, just minutes North West of Calgary. Silverhorn will be developed with approximately 85 homesites that range in size from 1.0 to just over two acres. The setting is a beautiful country residential community with dramatic views on well contoured land. Silverhorn is located west of Bearspaw Road and north of Township Road 262, conveniently close to the City of Calgary, yet far enough away from the noise and pace of urban living.

1.2 INTENT AND THEME

The intent of these guidelines is to create a community of harmony and continuity while allowing a number of architectural styles to offer variety and flavour. These architectural styles include French Country, Tudor, Mountain, Craftsman, and Prairie. Other architectural styles may be approved by the Architectural Coordinator based on the overall appearance and merits of the design. This document will not precede the Rocky View County Land Use Bylaw. The Developer reserves the right to make changes to these design guidelines at any time.



1.3 APPLICATION PROCESS

1.3.1 OVERVIEW

Silverhorn Inc. (The Developer) has commissioned IBI Group (The Architectural Coordinator) to develop and administer these architectural design guidelines. Builders are required to submit their plans to the Architectural Coordinator for review and approval prior to submitting to Rocky View County for a building permit. Rocky View County will not accept building permit applications that do not have an approved stamp from IBI Group. The building grades and grade slips will be approved by IBI Group.

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1.3.2 PRELIMINARY REVIEW

To achieve the desired look in Silverhorn, and to ensure designers are properly interpreting the Design Guidelines, a preliminary review is required. Proposed plans and elevations should be forwarded to the Architectural Coordinator for preliminary review stamp which will allow the builder to proceed to the next stage of design. The Architectural Coordinator will assist the designers with notes and sketches if required. This submission may be made via courier or email or may be dropped off in person at a preliminary meeting.

1.3.3 FORMAL APPLICATION SUBMISSION

After the preliminary submission is approved, the builder will be able to proceed to the final submission stage. All of the drawings should incorporate the mark ups that are suggested in the preliminary stage. All final submissions are encouraged to be made electronically on the www.archcontrol.com website. Archcontrol.com is a website owned and operated by IBI Group Calgary. This website will be the source of all building information and approval for all homes in Silverhorn. User names and passwords may be obtained by emailing passwords@archcontrol.com. Only complete submissions will be accepted for review. If the applicant chooses not to make the submission electronically, the package may be couriered to IBI Group and must include the application and exterior finishes forms that are included in Appendix B. The following information will be required for each application;

- Certificate of Title or proof of ownership
- Site Survey completed by a registered Alberta Land Surveyor showing the boundary, the site development envelope, the building envelope, and all topographical information.
- Plot Plan (to scale) showing the proposed home as well as all topographical information, top of footing grades and top of subfloor grades.
- Site Photographs
- Construction Drawings (1/4"=1'-0" or 3/16"=1'-0")
 - Floor Plans
 - Elevations
 - Cross Sections
- List of Exterior Building Materials
 - This list is to be input electronically and fully completed, listing all exterior finishes and colours, or filled out on the exterior finishes form.
 - A detailed one page colour board that shows a sample of each of the exterior materials. Any item that cannot be pasted onto this board may be displayed using a colour photograph.

Landscape Plans are required for all lots in Silverhorn and must be submitted to the Landscape Coordinator no later than 12 months after the date of the house plan approval. The following requirements apply:

- Landscape plan or plans, including all detail drawings of hard landscaping elements, prepared at an appropriate scale, larger scale for detail drawings, showing the following for the entire Lot:
 - the location and shape of the approved ‘Site Development Envelope’ and ‘Natural Area’.
 - the location(s) on the Lot of all buildings and structures;
 - road access, driveways, pedestrian pathways and parking;
 - grading and storm water management;
 - fencing, decks, patios, sports courts, planted areas and tree locations, water features, rockery gardens, landscape lighting, any other structures and the like;
 - Treatment of remainder of the Lot not specified above, including manicured lawn, ground cover and foundation plantings within the Site Development Envelope and the native ground cover within the Natural Areas;
 - Materials, colours, specifications and details (elevations and sections) of all built structures and surfaces, including but not limited to decks, patios and sports court surfacing;
 - Location and description (including both Latin and common plant names of proposed species) of all proposed planting, including a plant list itemizing proposed quantities, tree calliper, tree height and plant size for shrubs, perennials and grasses;
 - method(s) of irrigation;

A detailed checklist for Landscape Plan Approval can be found in Appendix B. After IBI Group has completed the Architectural Approval, the building grades will be approved and the applicant will receive a building grade slip. At this point, the builder will have complete architectural approval and will be able to download and print all of the drawings from the website with approved stamps.

Builders will require drawings which are stamped “Approved” from IBI Group to receive a building permit at Rocky View County.

1.3.4 LIMITATION

Neither the Architectural or Landscape Coordinator, or the Developer, or the Silverhorn HOA shall be liable for damages to anyone submitting plans for approval by reasons of mistake in judgement, negligence or in connection with the approval or disapproval or failure to approve any such plans.

1.4 SITE/FINAL INSPECTIONS AND COMPLIANCE FEES

1.4.1 SITE TOURS

The Architectural Coordinator will conduct site tours on a random basis to oversee the progress of the development and construction. This will include dealing with potential issues that may have occurred during the construction process. If the Architectural Coordinator notices a problem with any dwelling or conduct on the building sites, the builder and developer will be notified by email and possibly with a digital photograph highlighting the infraction.

1.4.2 FINAL INSPECTIONS

The Architectural Coordinator will be conducting final inspections at the completion of the home to ensure that the home has been completed as per the approved design. The builder needs to inform the Architectural Coordinator when a final inspection should be conducted. The house exterior must be completed in its entirety to receive a final acceptance. Should all of the design conditions be met, the homeowner and builder will receive written notification of compliance. Deficiencies, if any, will be noted and will have to be corrected before compliance is met and a re-inspection will be required. A \$100.00 re-inspection fee will be charged directly to the builder.

A final inspection of the landscaping will also be required. The builder / homeowner are to request an inspection through IBI Group. The landscaping must be complete to receive an approval and release of the compliance deposit.

1.4.3 COMPLIANCE FEES

In order to ensure the quality and integrity of the community, the builders will be required to give a \$7,500 architectural compliance deposit in the form of cash or Letter of Credit and \$7,500 landscape compliance deposit to The Developer at the time the construction drawings are reviewed. This will be returned to the builder upon release of the accepted final inspection report.

2. ZONING REQUIREMENTS

2.1 SITE PLANNING

2.1.1 BUILDING ENVELOPE AND SETBACKS

Each lot in Silverhorn will have a designated construction envelope known as the site development envelope. This is the area on the lot in which all construction activities are to take place. All other parts of the lot are to remain in their natural state. Within the site development envelope there is a 3.0 meter offset line known as the building envelope in which the proposed dwelling must be placed. No part of the principal building, garage or decks or accessory buildings may be located outside of the building envelope. The Developer and the Architectural Coordinator will be identifying the site development envelope for each lot based on a detailed site analysis which will be provided to the applicant upon the purchase of a lot. On top of the setbacks laid out by the site development envelope, the following setbacks from Rocky View County for R-S land uses shall also apply:

2.1.1.1 YARD, FRONT

- 30.0 m (98.4 feet) from any road, municipal
- 60.0 m (196.8 feet) from any road, primary highway or any road, secondary or highway
- 15.0 m (49.2 feet) from any road, internal subdivision or road, service

2.1.1.2 YARD, SIDE

- 30.0 m (98.4 feet) from any road, municipal
- 60.0 m (196.8 feet) from any road, primary highway or any road, secondary or highway
- 15.0 m (49.2 feet) from any road, internal subdivision or road, service
- 6.0 m (19.7 feet) all other

2.1.1.3 YARD, REAR

- 30.0 m (98.4 feet) from any road
- 15.0 m (49.2 feet) all other

2.2 BUILDING REQUIREMENTS

2.2.1 MINIMUM HABITABLE FLOOR AREA EXCLUDING BASEMENTS

2.2.1.1 SINGLE STORY DWELLINGS

- Minimum 1,600 ft²

2.2.1.1 TWO STORY DWELLINGS

- Minimum of 2200 ft² (minimum main floor area 1,400 ft²)



Box on box construction is discouraged in Silverhorn. Designs are required to have depth and a variety of rooflines. In order to achieve this, designers are asked to limit the square footage on the upper floor where possible. Designers are encouraged to build upper floor area in to the roof system through the use of dormers where possible.

Three storey clear elevations on walkout lots will not be permitted. On walkout lots a maximum of 1/3 of the width of the home on the rear elevation may have a three storey element to provide the opportunity for a main floor two storey great room. When this option is used, the designers are required to break up the rear elevation with roof lines and decks. The rest of the upper floor should be set back from the main floor a minimum of four feet to allow for a roofline to break up the massing.

As a guideline for all 2 storey homes in Silverhorn, the upper floor area should be designed to a maximum of 80% or less of the main floor area. Two storey great rooms that are open to below will count as part of the 80% calculation unless the overall roof height is dropped in this area. Any floor area that is built over the garage will not count as part of the 80% floor area of the main floor. It will however be subject to the same rule and must not be greater than 80% of the garage area.

Designers are required to list out in detail the floor area for all levels of the homes and to calculate the percentage of upper floor area vs. main floor area.

2.2.2 BUILDING HEIGHT

- Principal buildings shall not exceed 11.0 m (36.1 ft) in height
- Accessory buildings shall not exceed 6.5 m (21.3 ft) in height

2.2.3 BUILDINGS ON HOMESITE

Maximum dwelling units per lot is one Dwelling, single detached, and one Accessory dwelling unit.

Maximum of 2 accessory buildings per lot. Total building area of accessory buildings may not exceed 120 m² (1,292 ft²)

2.2.4 ACCESSORY DWELLING UNITS

Accessory dwelling units will be a discretionary use for each lot in Silverhorn. If an Accessory Dwelling Unit is proposed that is a garden suite and is separated from the principal building it must match the principle buildings architectural style and exterior finishes. All accessory dwelling units must follow the rules of the R-S and General Rules sections of the Rocky View County Land Use Bylaw.

2.2.5 WALL ARTICULATION

Long straight walls in plan view are discouraged. Any wall longer than 20 feet in plan view should be offset at least 2 feet or should include some type of chimney or box out to break up the long massing of the wall.

2.2.6 FIRE PREVENTION GUIDELINES

All construction in Silverhorn must comply with the Fire Prevention Guidelines 2009 that is attached as Appendix C in this document.

3. ARCHITECTURAL STYLES AND DESIGN

3.1 ARCHITECTURAL STYLES

Silverhorn will not be limited to one specific style of home, but all dwellings should draw on the flavour of housing styles such as: French Country, Tudor, Craftsman, Mountain, Mountain Contemporary, and Prairie. Other home styles may be approved at the discretion of the Architectural Coordinator.



3.1.1 FRENCH COUNTRY

- Steep roof pitches
- Hipped roofs
- Dual pitched roofs
- Arched features
- Window shutters
- Massive chimneys
- Stone and stucco finishes



image for style characteristics only

3.1.2 TUDOR

- Steep roof pitches
- Contrasting trim and siding colour
- Second story cantilevers
- Decorative half timbering
- Prominent cross gable
- Small window panes
- Massive chimneys
- Feature stone



image for style characteristics only

3.1.3 CRAFTSMAN

- Low roof pitches
- Mixture of materials
 - shingle
 - siding
 - masonry
- Large covered porches
- Heavy based columns
- Exposed rafter tails
- Double hung windows
- Extensive amount of detail



image for style characteristics only

3.1.4 MOUNTAIN

Medium roof pitches ex. 6/12

Natural material

masonry

composite siding

decorative wood shakes

Heavy timber work

Massive column base

Gable and hipped roofs



image for style characteristics only

3.1.5 MOUNTAIN CONTEMPORARY

Heavy stone base

Wood timbering

Contemporary material

- masonry

- composite siding

- stucco

- wood veneer paneling

Large amounts of glazing (horizontal & vertical)

Unique roof designs/layouts (inverted & flat permitted)

Large chimneys

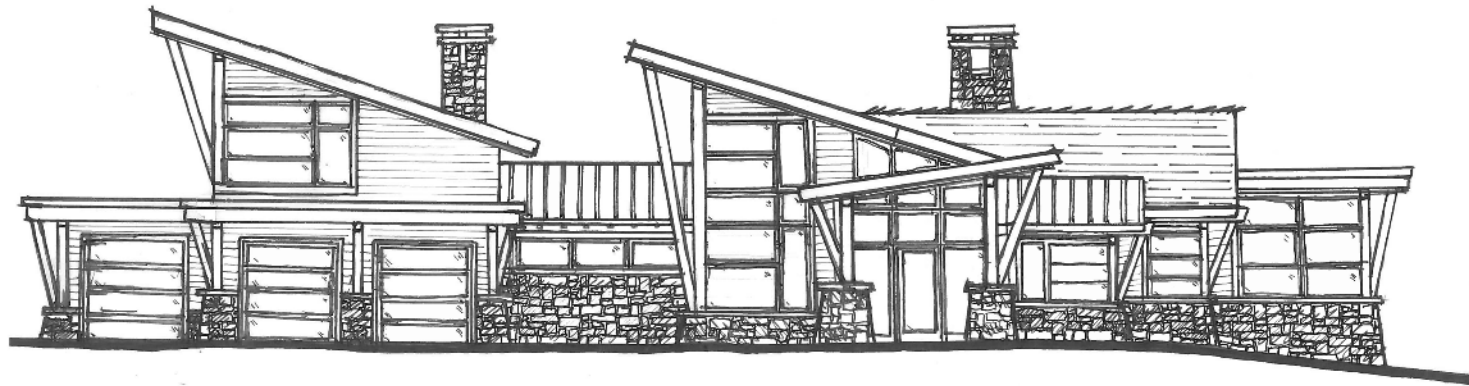


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3.1.6 PRAIRIE

Low roof pitches

Long lineal lines

Smooth materials

brick

stucco

Large overhangs

Long banks of windows

Large patios/porches

Solid wall railings



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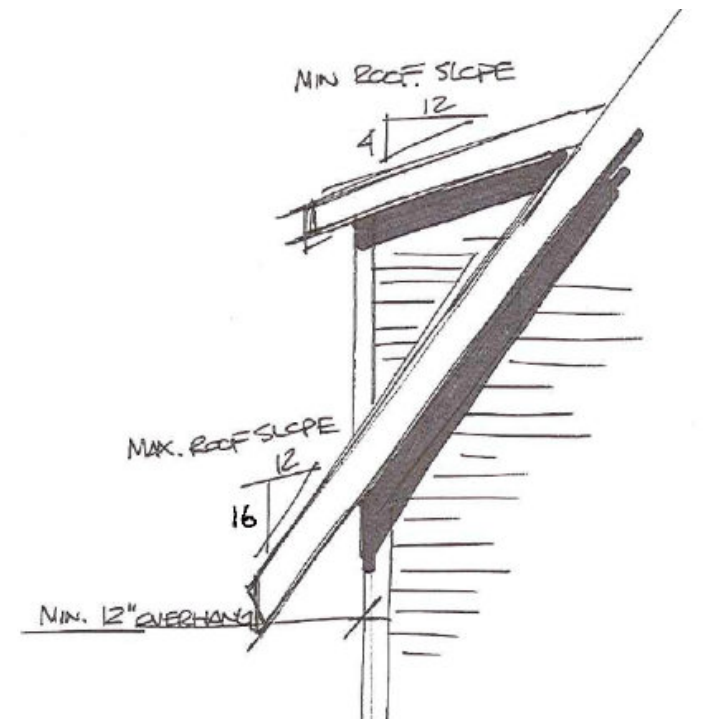
3.2 DESIGN

3.2.1 REPETITION

The same plan and elevations will not be approved more than once on a given street. Colour Schemes may not be repeated within 3 homes on either side of the street.

3.2.2 ROOF FORM

One of the most important features of the home will be the roof. Long unbroken rooflines are discouraged. Special attention must be made by designers to ensure that roof forms are interesting and have character. No roof shall be steeper than 16 in 12, nor less than 4 in 12. Flat roofs may be permitted on Mountain Contemporary style homes. They will not be permitted on other home styles unless used as a decorative feature on a sloped roof. Large overhangs will be encouraged to enhance the appearance of the home and to help shield the windows from the sun during the summer months. Overhangs should suit the architectural style of the home and are not permitted to be less than 12".



3.2.3 GARAGES

- Garage locations should be considered carefully. Rather than conventional front or side drive garages, designers are asked to explore other options. While these designs are acceptable, designers are encouraged to create unique garage options and layouts.
- All garages are to be designed to accommodate a minimum of three vehicles.
- One bay of the garage should be offset from the main face of the garage a minimum of 12”.
- Where possible, garages should be designed to look auxiliary from the principle residence.

3.2.4 PRIMARY ENTRY

- The primary entry to the home should be well articulated and is encouraged to be covered by a roof or be recessed in a covered porch.
- The primary entry should be easily visible from the street and should not be overpowering.
- Two storey entry columns are discouraged but may be permitted based on the overall appearance and style of the home.



3.3 APPROVED EXTERIOR BUILDING MATERIALS

3.3.1 ROOFING MATERIALS

All roofing colours will be Subject to approval by the Architectural Coordinator, approved roofing materials include:

- Premium asphalt shingles (IKO Grandeur, Chateau, Cambridge 30 or equivalent)
- Rubber Composite (slate profile only)
- Concrete tile (slate profile only)
- Aluminum Shingles (slate profile only)
- Slate
- Standing seam metal roofing

Other materials may be acceptable and may be approved at the discretion of the Architectural Coordinator.

3.3.2 ROOF HARDWARE

All roof hardware (vents, stacks, flashing, etc) must be prefinished or painted to match or compliment the colour of the roofing material.

3.3.3 PRIMARY WALL MATERIALS

The following materials will be permitted for use in Silverhorn:

- Smooth finish Acrylic Stucco
- Conventional stucco will not be approved
- Concrete Composite Siding (James Hardie or equivalent)
- Wood shakes (as an accent material)
- Tongue and groove stained cedar or a product meant to emulate cedar may be permitted as an accent material on Mountain Contemporary homes
- Vinyl Siding will not be permitted in Silverhorn under any circumstances

Other materials may be acceptable and may be approved by the Architectural Coordinator.



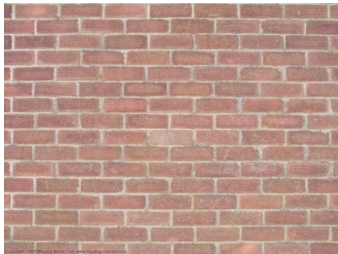
3.3.4 PRIMARY WALL COLOURS

All exterior colours schemes must be approved by the Architectural Coordinator. The main body of the home is suggested to be designed using earth tone colours. Bright colours such as pink, orange, light blue, peach, mint green and bright yellow will not be permitted. Dark colour stucco may be permitted with appropriate and contrasting trim colour. If siding is chosen, the siding colour will be approved at the discretion of the Architectural Coordinator and should match the design and style of the home.

3.3.5 MASONRY

Masonry will be required on all homes in Silverhorn. The amount of masonry required on each home will be at the discretion of the Architectural Coordinator and must be used in amounts to match the architectural style of the home. Masonry must be used in proportions that make it look like a structural element and must visibly ground the home. Masonry should not be used on second storey elements of a home when not used on the main level. The following materials will be approved for use in Silverhorn;

- Natural Stone
- Natural Stone Veneer (If natural stone veneer is used, proper corners must be used so that the stone will not show that it is only one inch thick.)
- Brick



3.3.6 FRONT ENTRY DOORS

- Single entry doors with side lites and or transom windows are preferred. Double front entry doors may be allowed and are subject to approval by the Architectural Coordinator.
- Steel doors are not permitted (wood or fiberglass that appears to be of wood construction only.)



3.3.7 GARAGE DOORS

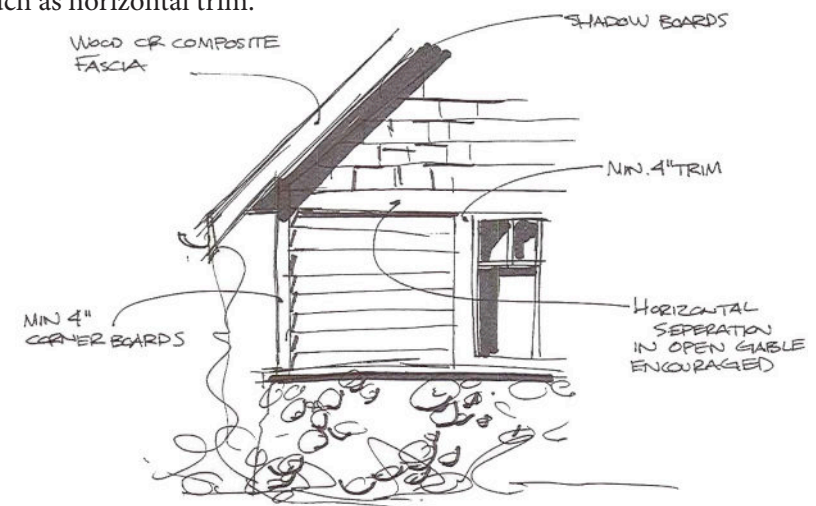
- Must be a traditional style “carriage” door with vertically proportioned panels as well as a stained finish. Material may be wood or fiberglass stained to look like wood.
- Are not to exceed 9’ in height and 20’ in width unless approved by the Architectural Coordinator
- On Mountain Contemporary styled homes, garage doors may be a more modern style. This may include doors with full glazing panels or flat panels in a wood finish. Door styles may be approved at the discretion of the Architectural Coordinator.



3.3.8 TRIM AND SOFFITS

Trim and soffit details can make a world of difference on a home. Window trim, if done properly, can make any window look rich and elegant. Cornices and half timbering can bring an elevation to life when used in accordance with the architectural style. Designers are asked to put a great deal of effort into the trim detailing on each design.

- Trim material shall be wood or Smartboard or approved equal, or smooth acrylic stucco in a contrasting colour, and is required on all openings. Cut stone trim may also be approved at the discretion of the Architectural Coordinator. If the windows for the home come with a prefinished brickmold that is 2" wide or larger, then the requirement of trim around them may be relaxed.
- Soffits must be wood or prefinished wood composite on all covered porches, decks and stoops. Other soffits may be prefinished aluminum. Rear walkout decks are permitted to have aluminum soffit on the underside.
- All fascias on open gables are to be Smartboard or wood only. Fascia that will be covered with Eavestrough may be prefinished aluminum.
- Shadow boards or cornices must be used in all open gable ends where the wall meets the soffit.
- Trim details should be a minimum of 4"
- Corner boards should be as wide as or wider than the siding exposure dimension (min 4", max 8")
- Raised stucco detailing in a contrasting colour to the main body of the home may be permitted.
- Trim must sit proud of the wall material they are designed within. When Smartboard trim is used on a stone wall, the trim must be built out at least ½" higher than the stone.
- Rainware must be limited on exposed elevations. Downspouts should take place on side and rear elevations of homes only. Rainware must be painted to match the fascia.
- Open gables are encouraged to be separated from the wall below in some way such as horizontal trim.



3.3.9 FENESTRATION

Window layouts and style are a key component in trying to achieve a specific architectural style. Windows should be positioned in good proportion and relationship to one another on an elevation. If fenestration is not set up properly, walls can look scattered and unorganized.

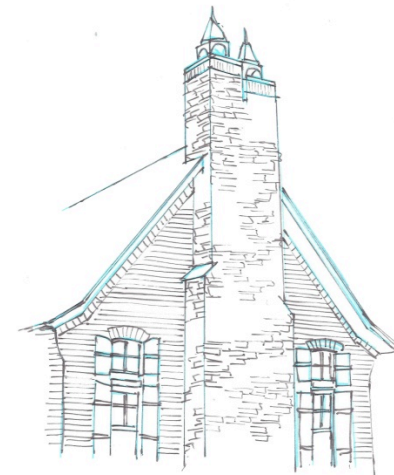
- Windows must be vertically proportioned
- Simulated or true divided lites are suggested on all elevations and may be added by the Architectural Coordinator if he/she sees fit
- Casement, double-hung and single-hung are appropriate window types and may be incorporated with non functional windows to create more elaborate window designs
- Front windows should not have a sill more than 3' off of floor of where it is located, not including kitchen windows, some feature windows and gables
- Windows are to be of metal or wood construction only. Vinyl windows will not be permitted.



3.3.10 CHIMNEYS

Chimneys are a very important feature on most of the approved architectural styles and should be incorporated in to the design of the home.

- Chimneys are encouraged on all homes in Silverhorn.
- Chimney caps are required on all chimneys (materials include metal, clay, masonry)
- Visible cantilevers are not permitted, chimneys must return to grade.
- Direct vents (if used) should not be visible from a street, park or pathway

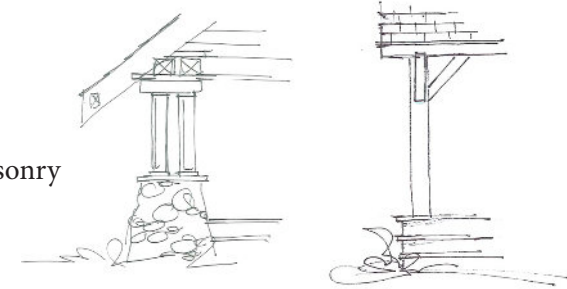


3.3.11 DECKS AND PATIOS

- Must be submitted as a part of the architectural plans
- Must work in conjunction with the overall design of the home
- Must take into account privacy issues of neighbouring residences
- May not impede privacy or be disproportionate to the residence

3.3.12 COLUMNS

- Well detailed columns are encouraged on all porches, stoops and entries. Column design should be appropriately detailed to suit the architectural style of the home.
- Minimum of 18" x 18" in size
- Materials are to compliment the overall design of the home
- Caps and bases should be used and are subject to approval
- Full height columns that extend to the top of the railing are encouraged and should be clad in masonry



3.3.13 RAILINGS

Railing will be required as per the Alberta Building Code. Front porches should have a railing in a style to match the architectural theme.

Acceptable railing materials include (depending on architectural style):

- Wood
- Wrought Iron
- Pre-finished aluminum or concrete
- Glass railings are not encouraged but may be permitted on rear elevations only.

3.3.14 SATELLITE DISHES

Satellite dishes may not be visible from the street and must be less than 24" in diameter

3.3.15 EXTERIOR LIGHTING

Only soft or low voltage lighting with frosted or white bulbs will be allowable. Metal fixture will also be a requirement. Coloured lights are not acceptable except for the purpose of holiday lighting. Bright flood lights should be avoided.

3.3.16 ELECTRIC AND GAS METRES

Electric and gas metres should be placed in a spot on the home that is not visible from the front street or they must be adequately screened through the landscape design.

3.3.17 PARGING

Parging will be an acceptable finish for foundation walls on side and rear elevations only and should be limited to a maximum of 16" in height from the finished grade. Parging should be applied with a smooth finish.

3.4 SITE CONSTRUCTION AND GENERAL RULES

3.4.1 MATERIAL AND EQUIPMENT STORAGE

- Builders will be allowed to store their materials and equipment on site during construction but may not store on any other home sites
- Items stored will have to be stored in an organized and covered manor to ensure site cleanliness
- Builders must ensure they do not trespass or disturb any other properties
- Cleaning of paint, solvents, stains, etc will not be permitted on site
- Concrete trucks may not clean chutes anywhere on site

3.4.2 SANITARY UNITS

- Temporary sanitary services to be provided on site by each builder for their construction crews to use in compliance with the Public Health Act of Alberta

3.4.3 CONSTRUCTION USE

- Construction debris and waste must be contained on site each day and removed at the end of the project
- Debris may not be burned, dumped, or buried anywhere on the site at any time
- Site damage (aprons, site furniture, roadways, vegetation) will be replaced or repaired by the responsible builder
- Should a site not be maintained as these guidelines document, the developer reserves the right to rectify any deficiencies at the cost of the responsible builder

3.4.4 VEHICLES AND PARKING

- Builders must limit the amount of vehicle tread on home sites
- Utility trailers, etc. may be parked on site for the time of construction only, at the risk of the builder

3.4.5 OTHER NOTES

- Vegetation material, top soil, or similar materials may not be dumped on site at any time
- Changing oil on any equipment or vehicles is not permitted on site
- During construction, alcohol is prohibited at all times on site
- Erosion control will be the responsibility of the builder during construction
- Builders are to ensure that sites are not accessed except via the provided entries

3.4.6 ATV'S

- ATV's will be prohibited on any portion of the community, including parks and pathways. Riding lawnmowers will be allowable for maintenance purposes, however must be stored out of sight within principal or accessory buildings

3.4.7 RECREATION VEHICLES

- Recreation vehicles such as boats, trailers, campers, and camper vans and motor homes may be stored on site, however must be contained within a garage or accessory building. Recreational vehicles may be parked on site in the driveway for a maximum of 7 days if it is not contained in a garage

3.4.8 LOT SIGNAGE

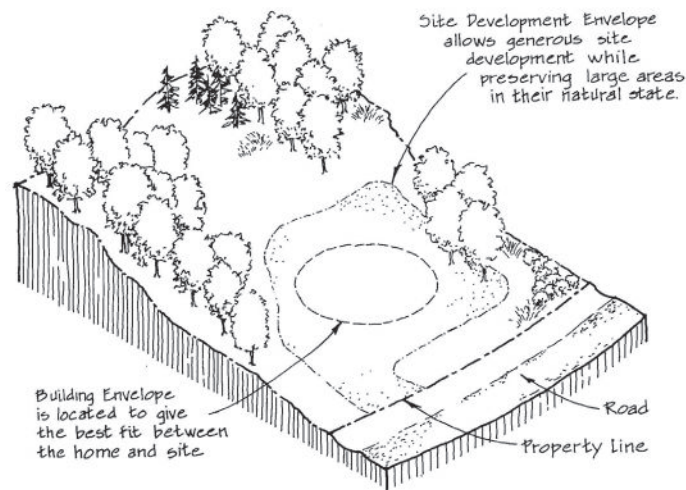
- All lot sale signs must be approved by the Developer, and must be ordered through the same sign distributor. See Appendix D for lot signage options

4. LANDSCAPE GUIDELINES

4.1 GENERAL REQUIREMENTS

Silverhorn is unique in terms of the existing vegetation mix. The site is comprised of native grasslands, shrub lands, aspen groves, wetlands and cultivated fields. The community of Silverhorn aspires to invoke a harmonious relationship between the built and natural environment that evokes a sense of continuity, rural character and sense of place for each residence.

Landscape design of each homesite will play an important role in achieving this vision of the Silverhorn community and in creating an attractive, unified landscape that will blend with the existing natural vegetation and complement the overall development. As part of the efforts to achieve the vision of Silverhorn, all homesites in Silverhorn are required to have a landscape plan prepared and submitted to the Landscape Coordinator for approval.



Each homesite in Silverhorn is enhanced by the natural existing vegetation that must be carefully integrated into the overall site plan to achieve the ultimate goal of conserving as much native existing vegetation as possible. Portions of each homesite will remain in their native vegetated condition to maintain the rural character and ecological features such as surface and ground water quality, wetlands, steep slopes and existing vegetation. To ensure minimum disturbance to the existing vegetation on the homesite, Development Guidelines have been established for each homesite and are contained within a separate document identified as “Site Development Guidelines”. These elements will help to provide each dwelling with its own identity and individuality.

Site Development Elements:

- Natural Area – Existing vegetation to remain, non-developable area
- Site Development Envelope – construction activity zone, landscaping, driveway, servicing, accessory buildings.
- Building Envelope – location of dwelling, accessory buildings, other important landscape features on each respective lot to be integrated in the proposed development/ landscape design, i.e. specimen trees, wetlands, etc.

Homesite owners are required to adhere to these “Site Development Guidelines” as part of the development of a Homesite.

4.2 LANDSCAPE AREAS – NATURAL AREA

4.2.1 NATURAL AREA

Homesite owners are required to conserve and enhance the natural vegetation of the site where identified within the Site Development Guidelines. The Natural Area of a site is the area between the manicured landscape surrounding the residence (Site Development Envelope) and the existing natural vegetation within the Silverhorn community. The natural vegetated area of each homesite will, combined with the natural communal areas of Silverhorn, help to conserve the diverse native ecosystem of the community.

4.3 HOME SITE DESIGN – GRADING AND DRAINAGE

4.3.1 GRADING AND DRAINAGE

The Subdivision has been engineered to maintain the form of the western prairie landscape and provide adequate drainage for each homesite without the need for excessive grading or re-shaping. By means of thorough design, all homes can be situated in such a way that the natural landscape remains substantially unchanged. On sloping home sites innovative planning and slope-adaptive design can be used to create dynamic spaces and limit disturbance to the site.

Applicable municipal bylaws carefully restrict re-grading the homesites. Any attempt to artificially elevate the finished grade of a homesite so as to raise the main floor level of a dwelling, and any extensive re-grading to create a flat homesite on the existing topography, is not be allowed.

Natural drainage patterns and landforms should not be interrupted unless necessitated by house design. Where possible and if practical, stormwater should be channelled to rock drainage pits, or to cisterns for storage and for use in irrigating the manicured portions of the homesite. Otherwise all stormwater drainage shall be channelled to connect to the subdivision's storm water system.

4.3.2 DESIGN & DETAILING OF DRIVEWAY ENTRIES

Each homesite owner is required to install a professionally designed entry structure at the driveway entrance to the homesite. The entry structure is required to have the street address of the homesite. Owners can chose the standard community entry feature which will be pre-designed by the landscape coordinator (materials to match each related residence) or chose an individual custom entry gate which is designed in accordance with the following provisions and approved by the landscape coordinator;

A) Driveway Entry Structure Proportions:

The Entry Structure may include one or more of the following: masonry, stone pillars or short sections of wall. All pillars and/or wall façade's shall be finished with the same masonry or stone as is used on the Principal Building on the homesite. This will ensure consistent design. Any wall or fence that forms part of an entry structure shall be no longer than 10 metres on either side of the pillars and may not be more than 75% of the total length of lot frontage. Walls / fences forming part of an entry structure are to be no more than 1.2 metres in height above natural grade.

B) Well detailed light fixtures which are compatible with the overall design character of the Silverhorn development are acceptable with the approval of the landscape design coordinator.

C) Other than an address plate (numbers only) and the light fixtures, no other elements are to be attached to the façade of the entry structure.

4.3.2.1 NO PERMANENT SIGNAGE

Except as provided in subsection 4.3.2.2 below and as set out in the design guidelines, no signs are permitted. There shall be no signage for any permitted home business occupation.

4.3.2.2 TEMPORARY SIGNAGE

Temporary signs identifying parties involved in the design and construction of the Principal Building and landscaping of the homesite are acceptable during the construction period only and must be designed using the approved template designed by the developer. There shall be no separate signs for suppliers and sub-trades. Property "For Sale" signs are also permitted and also must be created using the approved template designed by the developer. No alternate signage will be permitted under any circumstances.

4.4 SOFT LANDSCAPING

4.4.1 SOFT LANDSCAPING

The landscape design of each homesite constitutes an important part of the overall attractiveness of the subdivision. Each owner must landscape his or her homesite to create an individual design to suit their needs while maintaining continuity with neighbouring homesites and/or open space to generate an overall community landscape. The following guidelines are not intended to discourage personal expression or limit design creativity in the development of the homesites; however, prior to their approval, all landscape design plans and plant lists will be reviewed by the Landscape Coordinator for integrity, plant species and stylistic influences.

The proposed landscape plan for each homesite should incorporate generous plantings of trees and shrubs both coniferous and deciduous, in attractive groupings. Within the manicured landscape, plantings designed in less conventional ways incorporating large rocks, rock walls, water features and exterior lighting are encouraged. Large expanses of lawn, uninterrupted by plantings, will not be acceptable. [Shrubs and trees to be planted within the site development envelope of a homesite should select plant species from the plant list mentioned in Appendix A]. The plant list is comprised of primarily native species. The use of native species is important not only because it will maintain the homesite's natural character, but also because such species will need less maintenance and will be more likely to survive. The use of native plant material does not have to limit creativity in gardens, to the contrary it can be rich in color and texture and will be attractive year round.

All landscape plans should specify plant quantities and plant sizes. The following requirements refer to the vegetation on the site development envelope of each homesite.

Shrubs should be a mixture of deciduous and coniferous species.

Shrubs within the manicured landscape should be located within mulched planting beds.

All proposed vegetation, as well as any trellises, arbours or gazebos, must be carefully located on each homesite so as not to significantly restrict potential views of the prairie landscape from neighbouring homesites.

A list of plant species, which are either indigenous or adaptive to the local climatic conditions, can be found in Appendix A.

4.4.2 GROUND COVER

At a minimum, all yards must be fully planted and maintained with a local climate-tolerant and/or native species of grass and/or shrubs to eliminate soil erosion and run-off onto neighbouring lands.

All of a lot's ground cover (grass or sod within the Site Development Envelope) must be laid, seeded and/or planted and finished before October 31st of the year in which an occupancy permit for the residence is issued by the County or if such occupancy permit is issued during either September or October, by June 30th of the following year. This also applies for the installation of the driveway and garage apron surface.

Notwithstanding the foregoing, if a homesite owner does not commence construction of a house by six months after the closing of the homesite purchase, the homesite should be left in its as is natural state. No seeding or sodding is allowed on non-developed homesites.

4.4.3 VEGETATION MAINTENANCE

Yards must be well maintained by the owner at all times. Each owner's maintenance responsibility will also include the strip of vegetation located between his/her front property line and the asphalt edge of the public roadway.

Pruning, cutting, weeding, spraying and mowing is permitted within the Site Development Envelope at any time. Within the Natural Area, the clearing, mowing and spraying of native vegetation is prohibited.

4.4.4 TREE GROWTH/REMOVAL

Any tree located on a homesite which has been planted by the owner, which has been positioned or has grown such that it significantly restricts views of the surrounding and distant landscapes from the Principal Building on any other homesite, trimmed back to an appropriate degree, or taken down and relocated by the owner, upon the reasonable request of the affected neighbouring owner. In the case of disagreements amongst owners, the decision of the Landscape Coordinator or the Silverhorn HOA, as the case may be, will be absolute and binding on the parties.

All electrical, telephone and cable television wiring within each homesite shall be buried underground from its connection to the service distribution lines at the homesite's property line.

4.5 HARD LANDSCAPING

4.5.1 DRIVEWAYS

Each homesite shall have only one driveway. This driveway should not exceed a width of 5m until nearing the garage apron. To promote a natural look, softly curving drives utilizing existing topography for context and alignment are encouraged.

The minimum requirement for all driveways in Silverhorn will be a paved asphalt driveway. Decorative asphalt, concrete, concrete paver, or stone borders are encouraged. Decorative concrete driveways are encouraged but not required. The driveway treatment should start from the property line.

The driveway approach (between roadway and property line) must be of asphalt only.

Paved driving courts, for visitor parking, can be an attractive feature when incorporated sensitively into the design of the site.

- Rather than long, straight driveways; designers have many options including meandering lanes, roundabouts, etc.
- Driveway designs are to be included on the plot plan and must show material locations and a rough landscaping concept
- It is encouraged that courtyard areas be further detailed using materials such as stone paving, decorative pavers, exposed aggregate, stamped concrete, brick pavers, or approved alternatives.

4.5.2 PATIOS, RETAINING WALLS & PERMANENT PLANTERS

Patios and retaining walls should be designed innovatively and must complement the character of the home and become part of the overall architectural composition. All retaining walls must be clad in masonry to match or complement the character of the principal buildings and are to be under 1.5m in height.

Exposed, unclad concrete walls, which are non-complimentary to the character of the principal building are not permitted. Any other concrete walls (either exposed or with some type of coating) are subject to design review by the Landscape Coordinator.

4.5.3 ANCILLARY BUILDINGS AND STRUCTURES

Ancillary buildings and structures such as gazebos, carriage houses or garden sheds shall be designed to be an integral component of the building form and/or the proposed landscape. They shall be sited to complement the overall home and/or garden composition, and will be subject to design review by the Landscape Coordinator prior to their construction.

Stock aluminum sheds, garages and greenhouses are not permitted.

4.5.3.1 DOG HOUSES

Dog houses, if any, must be located in the rear yard of the a homesite and must not be visible from any public road or any neighbouring homesite.

4.5.3.1 DOG RUNS

Dog Run Enclosures are permitted following these requirements:

- Dog runs shall be enclosed with black vinyl coated chain link fencing and shall not exceed 1.5 metres in height.
- No portion of any dog run enclosure shall be located either within 6 metres of any property line of any homesite, or on any portion of any homesite which lies between any portion of the exterior wall of the residence on the homesite which faces a public road. It is strongly recommended that one side of the dog run enclosure be a wall of either an attached or detached garage.

4.5.4 SPORT COURTS

Sport courts are defined as any distinct hard surfaced area used for any outdoor recreational activity including, without limiting the generality of the foregoing, tennis, basketball, skateboarding, rollerblading, ice skating, roller hockey and ice hockey. Sport courts are subject to careful review of location, colour and materiality of enclosure. Visual incompatibility and noise intrusion to adjacent properties will be taken into account during the Landscape Coordinator's review process.

No sport court shall be located in any front yard or side yard of any homesite. Unless otherwise approved by the Landscape Coordinator, no portion of any sports court shall be located within 6 metres of any property line of any homesite. The location of any sports court on any homesite must be approved by the Landscape Coordinator prior to its construction, in order to address concerns regarding views of the prairie landscape from either the Principal Building on any immediately neighbouring homesite.

No Sport Court shall exceed in area 24m x 11m.

Sport Court surfaces shall be finished with a suitable, purpose – specific surfacing product. The product to be used and the colour scheme of the sport court surfacing must be approved by the Landscape Coordinator prior to its application. Painted or unfinished asphalt is unacceptable.

4.5.5 FENCING

Fencing in Silverhorn should be kept to a minimum. With careful design, the proper level of privacy can be achieved by judiciously placed groups of plants. Complete perimeter fencing will not be permitted in Silverhorn. Decorative fencing for front yard is allowed and should be constructed of materials such as stone, brick, wood or wrought iron, be compatible with the entry structure and must be integrated with the building and site design as a whole. Front yard fences may be up to 1.2m high and must not be longer than 10 metres past the entry structure on either side and can only be a maximum of 75% of the total lot frontage.

Privacy fencing may be created in rear yards only to a distance of 12.0 m from the rear wall of the home and may not be closer than 6 metres to any side property line. Any privacy fencing shall not exceed 1.5 m in height unless it is required to be higher for a swimming pool. Privacy fencing may be constructed of wood, vinyl, stone or brick. Transparent fencing such as wrought iron or aluminum would also be permitted in this location.

Chain link fencing is not allowable for any purpose other than enclosed dog-runs and sport courts. Any dog runs shall be fully screened from view from adjacent properties using shrubbery and other planting. For dog runs and sport courts, black powder coated, prefinished chain link wire fencing is permitted. Prefinished powder coated framework (posts, rails and gates), is required. Fencing for a sport court shall not exceed 3.0m in height.

4.5.6 LIGHTING

To preserve the rural environment of Silverhorn, outdoor lighting should be kept to a minimal and should be soft, subtle and glare-free. It is imperative that all lighting should cause low visual impact to both the street and neighbouring homesites.

5. ENVIRONMENTAL SUSTAINABILITY

All homes in Silverhorn are expected to be sensitive to existing landscape and surroundings. All builders are to use implement green building techniques and standards when constructing their homes builders are encouraged but not required to use the Built Green Canada program. Built Green™ is an industry driven voluntary program that promotes “green” building practices to reduce the impact that building has on the environment. It benefits the home buyer, the community and the environment and is an opportunity for everyone to choose a “green” future. The program includes mandatory Builder training and third party audits to ensure that the home was constructed to the proper standards.

Built Green™ adds value to new home construction by promoting and recognizing the use of practices and products that represents resource-efficient and environmentally friendly construction. The primary purpose of Built Green™ is to encourage homebuilders to use technologies, products and practices that will:

- Provide greater energy efficiency and reduce pollution
- Provide healthier indoor air
- Reduce water usage
- Preserve natural resources
- Improve durability and reduce maintenance

The program concentrates on four areas of environmental concern:

- Energy Efficiency
- Indoor Air Quality
- Resource Use (including Waste Management)
- Overall Environmental Impact

6. DISCRETION

Notwithstanding anything else set out in these guidelines, the Developer, and the Architectural Coordinator may apply their respective judgements when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the Architectural Coordinator may provide waivers of or relaxations to any matter set out in theses guidelines in their sole and absolute unfettered discretion.

6.1 NO RIGHT TO ENFORCE

Only the developer may enforce the guidelines. No purchaser of a lot in Silverhorn may enforce these guidelines until such time as the Homeowner’s Association assumes the role of Architectural Coordinator.

6.2 RIGHT TO AMEND

The developer may from time to time amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

APPENDIX A
Plant List

Coniferous Trees

Botanical Name

Picea glauca
Pinus contorta latifolia
Pinus flexilis
Pinus sylvestris
Pinus uncinata
Picea pungens

Common Name

White Spruce
Lodgepole Pine
Limber Pine
Scotch Pine
Mountain Pine
Green Colorado Spruce

Deciduous Trees

Botanical Name

Betula nigra
Betula papyrifera
Crataegus mordenensis
Fraxinus pennsylvanica
Larix sibirica
Populus balsamifera
Populus species as approved
Populus Tremuloides
Prunus pensylvanica
Quercus macrocarpa

Common Name

River Birch
Paper Birch
Hawthorn
Green Ash as approved
Siberian Larch
Balsam Poplar
Poplar species as approved
Trembling Aspen
Pin Cherry
Bur Oak

Coniferous Shrubs

Botanical Name

Juniperus communis
Juniperus horizontalis
Juniperus scopulorum
Pinus mugo pumilo
Pinus mugo mugo
Prunus virginiana

Common Name

Common Juniper
Creeping Juniper
Rocky Mountain Juniper
Dwarf Mugo Pine
Mugo Pine
Chokecherry

Deciduous Shrubs

Botanical Name

Amelanchier alnifolia
Betula glandulosa
Cornus sericea
Elaeagnus commutata
Potentilla Fruticosa
Prunus pensylvanica
Ribes aureum
Ribes oxycanthoides
Rosa acicularis
Rosa woodsii
Rubus idaeus
Salix bebbiana
Salix discolor
Salix exigua
Salix interior
Sambucus racemosa
Shepherdia argentea
Shepherdia Canadensis
Symphoricarpos albus
Symphoricarpos occidentalis
Viburnum trilobum
Viburnum trilobum 'Compactum'

Common Name

Saskatoon
Dward Birch
Red Osier Dogwood
Wolf Willow/ Silverberry
Shrubby Cinquefoil
Pin Cherry
Golden Currant
Gooseberry
Prickly Rose
Common Wild Rose
Wild Red Raspberry
Beaked Willow
Pussy Willow
Coyote Willow
Sandbar Willow
Red Berried Elder
Silver Buffaloberry
Russet Buffaloberry
Snowberry
Buckbrush Coralberry
American Highbush Cranberry
Compact Cranberry

The native/adaptive species as listed above are particularly appropriate for use on the wooded lots, and use of non-indigenous species is not encouraged. However, non-indigenous trees and shrubs may be considered for limited use as specimen or accent planting in the 'Site Development Envelope' of a homesite. All the plant species specified within 'Site Development Envelope' of a homesite are subject to review by the Landscape Coordinator.

APPENDIX B
Application for House Plan and Landscape Plan Approval



SILVERHORN

APPLICATION FOR HOUSE PLAN APPROVAL

PHASE _____ LOT _____ BLOCK _____ PLAN _____
CIVIC ADDRESS _____

APPLICANT

BUILDER: _____ TELEPHONE: _____ ADDRESS: _____
FAX: _____ CONTACT: _____

HOUSING DESIGN

HOUSE TYPE: _____ MODEL / JOB NUMBER _____ GROUND FLOOR AREA: _____
TOTAL DEVELOPED FLOOR AREA: _____ ROOF STYLE: _____ ROOF PITCH: _____

SETBACKS AND GRADE INFORMATION

SETBACKS _____ FRONT _____ REAR _____ LEFT SIDE _____ RIGHT SIDE _____ HEIGHT _____
FINISHED LANDSCAPED GRADES AT HOUSE CORNERS (LEFT AND RIGHT AS VIEWED FROM STREET)
ACTUAL TOP OF FOOTING _____ LOWEST TOP OF FOOTING _____ TOP OF MAIN FLOOR JOIST _____ FRONT OF GARAGE: _____

EXTERIOR FINISHES

MATERIAL

MANUFACTURER

COLOUR

EXTERIOR FINISHES	MATERIAL	MANUFACTURER	COLOUR
<i>Roof</i>	_____	_____	_____
<i>Walls-General</i>	_____	_____	_____
<i>Walls-Secondary</i>	_____	_____	_____
<i>Brick or Stone</i>	_____	_____	_____
<i>Trim</i>	_____	_____	_____
<i>Fascia</i>	_____	_____	_____
<i>Soffits</i>	_____	_____	_____
<i>Rainware</i>	_____	_____	_____
<i>Entry Doors</i>	_____	_____	_____
<i>Garage Door</i>	_____	_____	_____



APPLICATION FOR HOUSE PLAN APPROVAL

SITE PLAN REQUIREMENTS

A site plan with the following information must be provided. The builder is responsible to conform on site that the information submitted and reviewed matches the actual site conditions before starting construction

- a) *Dimensions of lot*
- a) *Dimensions of property lines*
- a) *Indicate all easements*
- a) *Location of drainage swales and drainage patterns*
- a) *Proposed elevations at each corner of the house, garage slab, top a) of footing and top of joists*
- a) *Dimensions of building*
- a) *Location of Driveway and slope of Driveway*
- a) *Indicate locations of retaining walls*
- a) *Location of underground water lines, sanitary and storms lines*
- Indicate all roads, lanes, sidewalks and gutters adjacent to property, as well as, all hydrants, light poles, power poles, transformers, telephone pedestals etc. on or adjacent to the property*

USE OF HOUSE PLAN APPROVAL SERVICES

The applicant acknowledges that the house plan approval is provided as a service and that the developer and its approving officers assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof.

The applicant further acknowledges that he will hold the developer and its approving officers harmless from action resulting from the use of this information.

Date: _____ SIGNATURE OF APPLICANT: _____

CONDITIONS OF APPROVAL

1. Finished Grade to be in accordance with plot plan. The builder is responsible for proper drainage of lot based on subdivision design.
2. The builder is responsible for any retaining walls that may be required due to grading.
3. Maximum of 400mm parging showing on side and rear elevations.
4. All roof vents and/or flashing that are visible from the street are to be painted to match roof colour.

Additional Approval Comments: _____

GRADES

APPROVED – AS NOTED: _____ DATE: _____

ARCHITECTURAL

APPROVED – AS NOTED: _____ DATE: _____

ARCHITECTURAL COORDINATOR

IBI GROUP

PHONE: 270 5600

FAX: 270-5610



APPLICATION FOR LANDSCAPE PLAN APPROVAL

LANDSCAPE PLAN CHECKLIST

To be submitted prior to home occupancy

DATE: _____
OWNER: _____
LANDSCAPE ARCHITECT: _____
LANDSCAPE CONTRACTOR: _____

LOT: _____
PHONE: _____
PHONE: _____
PHONE: _____

- Landscape Site Plan at 1:200 showing complete lot – Natural Area, Site Development Envelope, Building Envelope & the landscape design within Site Development Envelope
- Landscape Plan for Site Development Envelope at minimum 1:100 or more
- Landscape Details at appropriate scale to effectively read the design
- North arrow
- Site dimensions
- Property lines
- Easements and encroachments
- Existing and proposed contours and spot elevations
- Buildings
- Accessory buildings and structures
- Driveway and parking locations
- Decks, patios and walkways – locations and materials
- Fencing and decorative entry walls – locations and materials
- Retaining walls and materials
- Exterior lighting
- Existing plant locations, including tree survey
- Trees to be removed
- Proposed new plant locations
- Species, quantity and size of proposed new plants
- Manicured and natural grass areas
- Irrigation system
- Storm water management features, according to the approved Storm Water Management Plan, incorporated into the landscape design
- Erosion control features, according to the approved Erosion Control and Site Management Plan, incorporated into the landscape design
- Complete Landscape Specification, including installation details and notes
- Landscape material and colour Samples

APPENDIX C
Fire Prevention Guidelines 2009

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INTRODUCTION

The Silverhorn community is situated in a natural setting comprising of rolling hills, wetlands, and a variety of vegetation. The vegetation consists of groves of aspens, a reasonable proportion of poplar, shrubs, and native grasslands, and a scattering of spruce trees. The Silverhorn community has been specifically designed to conserve these existing natural features and to nestle homes amongst the preserved vegetation. However, whenever residential development is located within or near natural vegetation, they are at risk from wildfire. The Silverhorn Fire Prevention Guidelines have been written to outline methods to help protect homes and property from wildfires with careful consideration of the natural setting that the Silverhorn community is situated within.

PURPOSE

The purpose of the Silverhorn Fire Prevention Guidelines is to provide both builders and home owners with a set of principles and procedures to help protect homes and property from wildfire. The document is organised into two parts: Site Preparation and Building Construction. Each section provides builders and home owners with background on the fire risks and options for the design, construction, and maintenance of residences to reduce the risk and impact of a wildfire. Site Preparation addresses what should be done around buildings while Building Construction considers how buildings should be constructed and maintained.

DEFINITIONS

Fuel: Vegetation or other materials that are a source of fuel for a fire.

DISCLAIMER

The Silverhorn Fire Prevention Guidelines have heavily referenced The Home Owners FireSmart Manual: Protecting Your Home from Wildfire, Fourth Edition and FireSmart: Protecting Your Community from Wildfire, Second Edition both produced by the Government of Alberta. Nevertheless, certain requirements have been given different consideration as a result of the type and pattern of vegetation within the Silverhorn community. Specifically, aspens and poplar trees have a very low flammability rating and the patched network of vegetation provides for a firebreak between tree stands. Therefore, the result is a natural area that may be prone to fewer wildfires.

Where local building codes, development bylaws, or covenants exceed the standards recommended in this document, follow local codes, bylaws, and covenants.

In writing the Silverhorn Fire Prevention Guidelines, Silverhorn Inc. and IBI Group accept no responsibility for:

Any loss or damage that any person may sustain as a result of the information in, or anything done or omitted in reliance on, this document.

ANY PERSONAL INJURY OR BODILY INJURY, INCLUDING DEATH, AND ANY LOSS OR DAMAGE CAUSED BY A WILDFIRE TO INSURED OR UNINSURED BUILDINGS AND/OR PROPERTY WHERE FIRE PREVENTION PRINCIPLES HAVE BEEN APPLIED

SITE PREPARATION

Mature trees, shrubs, grass and even a woodpile can easily ignite and increase the chance of wildfire, damaging homes and property. Managing the space around a home and buildings is of utmost importance.

PRIORITY ZONE 1

Priority Zone 1, within 3.0 metres (9.8 feet) of a building, is the most critical zone because flammable vegetation within it will allow a wildfire to come within close proximity to, or in direct contact with, the building. Fuels within this zone must be managed to create an environment that will not support wildfires of any kind.

Fire Reduction Measures

Remove flammable trees and shrubs, such as pine, spruce and juniper. Deciduous trees such as aspen, poplar and birch are acceptable as they have lower flammability rates. Also remove deadfall or woodpiles from this area and keep grass mowed and watered.



Coniferous trees located directly next to a building can allow wildfire to come in close or direct contact with a building.



Removal of flammable vegetation within 3.0 metres of a structure will assist in minimizing the effect of a wildfire.

PRIORITY ZONE 2

Zone 2 begins 3.0 metres (9.8 feet) from the building and extends to 10 metres (32.8 feet) from the building. Flames, radiant heat and spotting embers from fires in this zone may ignite a building. Fuels within this zone must be managed to create an environment that will only support fires of lower intensity and rate of spread.

Fire Reduction Measures

Remove any fallen tree branches or other deadfall to reduce the chance of a wildfire from climbing up into the canopy.

BURN BARRELS AND FIRE PITS

Remove flammable trees and shrubs, such as pine, spruce and juniper. Deciduous trees such as aspen, poplar and birch are acceptable as they have lower flammability rates. Also remove deadfall or woodpiles from this area and keep grass mowed and watered.

Fire Reduction Measures

- Burn barrels and fire pits should be located away from buildings and other combustible material
- Always ensure your burn barrel has proper ventilation and is covered with a screen.
- Never leave your burn barrel or fire pit unattended while it is in use.
- Follow the municipality's most current requirements regarding burn barrels.
- For a safer method of disposal bring your debris to a local landfill site

POWER LINES

Overhead distribution power lines are a possible source of ignition for wildfires. Major accumulations of vegetation under the power lines may also contribute to ignitions.

Fire Reduction Measures

Appropriate clearances between vegetation and conductors should be maintained. If maintenance is needed, check with the electrical utility company in the area.



Ensure power lines are clear of all vegetation.

ON-SITE FIREFIGHTING EQUIPMENT

Wildfires often start as small accidental ignitions, and timely action by properly equipped residents can make the difference between a fire that escapes and a fire that is quickly controlled.

Fire Reduction Measures

Every home should have fire extinguishers, shovels, rakes, axes, garden hoses, sprinklers and ladders to assist in suppressing wildfires and protecting homes. Homeowners are not encouraged to attack large or fast-moving wildfires.

EMERGENCY VEHICLE ACCESS

Emergency vehicles should be provided with adequate access to buildings in order to respond to a fire.

Fire Reduction Measures

- Safe and efficient access for both residents and firefighters is facilitated through good layout, design, construction, and maintenance of both roadways and fire service access routes.
- Entranceways to individual properties should be kept clear of vehicles and other obstacles to allow emergency vehicles to gain access to buildings.



Entranceways to property should be kept clear of vehicles and other obstacles to allow emergency vehicle access to buildings.

BUILDING CONSTRUCTION

The second part of the Silverhorn Fire Prevention Guidelines deals with building materials, design standards, and building maintenance.

ROOFING

Although many factors contribute to the ability of a building to withstand a wildfire event, roofs that catch fire are the main cause of building losses in wildland/urban interface areas. The roof is the most vulnerable component of the building. Its more-or-less horizontal surface catches and holds much of what falls on it. Flaming debris landing on a combustible roof surface will often start a new fire.

Fire Reduction Measures

- Use only fire-retardant roofing rated Class A, B, or C. This can include metal, concrete tile, clay tile, and asphalt shingles.
- Wooden shakes and shingles provide no fire resistance and should not be used on roofs. They are ideal fuels for an advancing wildfire.

Regular maintenance should be undertaken to ensure the roof is free of combustible needles and leaves and there are no overhanging trees or branches that can provide fuel for airborne sparks and embers.



Wooden shakes and shingles should not be used on roofs.



Metal is one option for fire-retardant roofing.

EXTERIOR SIDING

After the roof, siding material is the structural component most vulnerable to fire. A wildfire burning the vegetation surrounding a building will produce intense heat that can result in exterior ignitions. Materials such as stucco, metal, brick and concrete offer superior resistance to wildfire. Logs and heavy timber are less effective, and wood and vinyl siding offer very little protection.

Fire Reduction Measures

Materials such as stucco, metal siding, brick, cement shingles and siding, concrete block, poured concrete and rock are encouraged to be used for exterior siding as they offer superior fire resistance.

- Logs and heavy timbers are less effective than the materials listed in the previous point but do provide a more fire-resistant building exterior than wood siding.
- Vinyl siding should not be used as it may melt, exposing flammable sheathing.
- Wooden siding should not be used as it offers very little fire resistance.
- Logs, heavy timbers and wooden shingles can be used as a decorative element as long as it is not the main material used for exterior siding.

Wooden shakes should not be used as the main siding material as they provide no fire protection and actually increase the hazard.

CHIMNEYS OR STOVEPIPES

Some buildings may feature wood stoves or fireplaces. Chimneys present a serious hazard in interface areas if they are not equipped to prevent embers from escaping.

Fire Reduction Measures

- Chimneys should be constructed to meet Alberta building code requirements and have approved spark arrestors installed.

Chimney outlets should have at least 3 metres' clearance from all vegetation and obstructions. Chimney outlets should be 0.6 metres higher than any part of the roof that is within 3 metres.



Wooden siding offers very little fire resistance.



Wooden shingles can be used as a decorative element as long as it is not the main material used for exterior siding.



Stucco is a siding material that can be used as it offers fire resistance.

EAVES, VENTS AND OPENINGS

While vents perform the important function of allowing trapped moisture to escape from attics, soffits and crawlspaces, they are ready-made openings that can allow heat and embers to enter a building and ignite it.

Fire Reduction Measures

- Ensure eaves are closed in and screen all vents and soffits.

BALCONIES, DECKS AND PORCHES

Stilt construction and overhangs used in the assembly of decks and balconies can be a fire hazard as they can trap heat rising along exterior siding.

Fire Reduction Measures

Keep areas under balconies, decks and porches clear of debris.



Flammable material under and around decks can pose a fire hazard.



Areas under balconies, decks and porches that are clear of debris can limit the effect of a wildfire



Ensure that all eaves are closed in and screen all vents and soffits.

APPENDIX D
Lot Signage Options



Single Post Option



FOR SALE
SOLD

Double Sided
For Sale / Sold panel

Rendering Area
22.5" tall x 31" wide



Double Post Option

NOTES:

A series of horizontal dotted lines for taking notes.